

HAVEN

LAKE BOGA

DESIGN GUIDELINES

STAGE 7 RELEASE

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HAVEN

LAKE BOGA



Haven is a high quality waterfront residential community on the shores of Lake Boga. It allows residents to take full advantage of the lake environs including meandering walking tracks, family orientated parks and a boat ramp, while respecting the semi rural context and natural environment.

To achieve the very best outcome for the Haven community, it is important to adopt design principles that deliver quality open space and housing. These principles are reflected in the Haven Design Guidelines and all housing and landscaping of properties within Haven will be required to adopt set criteria. The Haven Design Guidelines are included within the Plan of Sub Division and contract of sale, and outline ongoing restrictions with respect to use of the allotment, please ensure you are familiar with your obligations.

These guidelines complement the vision and the quality landscape that will differentiate Haven from anything else available in the Swan Hill region. To ensure the quality of housing is delivered and to maximise the appeal of Haven the following key elements are set out in the Haven Design Guidelines:

- Design Assessment Panel (DAP) approval
- Building Envelope
- Architectural attributes
- Colours and materials
- Landscape and fencing

Please note that compliance with the Haven Design Guidelines is additional to your requirements under local and state government statutory requirements, the Victorian Building Regulations and the National Construction Code of Australia. In case of any inconsistency between the guidelines and any legislative or planning scheme requirements, the legislative and planning requirements will take precedence over the design guidelines.

In its consideration of dwelling designs, the Design Assessment Panel (DAP) may exercise its discretion to waive or vary a requirement where they deem it to be allowable, or beneficial to the development. The Guidelines are subject to change by the developer at any time without notice. All decisions regarding the Guidelines are at the discretion of the DAP.

To ensure that all housing & development of allotments respects the vision for Haven & contributes to the quality of the streetscape & lakeside environs, all building designs & landscaping are required to be assessed by the Design Assessment Panel (DAP) against these Design Guidelines. Once the design and drawings have been completed for each dwelling, a full set of documentation with a completed Design Approval Checklist (contained in the Contract of Sale) must be forwarded for DAP Approval. The DAP will use its best endeavours to review and respond within 10 working days of receiving a full set of documentation.

As a minimum the following will be required:

1. SITE PLAN

(Drawn to 1:200 scale) setting out:

The home and any outbuildings on the lot with dimensions (in metres) and setbacks from all boundaries, proposed fencing and driveway location.

2. FLOOR PLANS

(Drawn to 1:100 scale) setting out:

The layout of the home and any outbuildings indicating all rooms, windows, external doors, external fixtures and nominated floor levels.

3. ELEVATIONS OF ALL SIDES OF THE HOUSE

(Drawn to 1:100 scale) setting out:

Wall heights, all external finishes, roof and eave overhang dimensions, roof pitch, window types and material, accurate ground level and garage door type.

Relevant cross sections should also be included to assist with the assessment where appropriate.

4. LANDSCAPE PLAN

(Drawn to 1:100 scale) setting out:

The extent of fencing, including height and material details, location and material of driveway, and planting description.

5. COLOURS AND MATERIALS

Schedule setting out:

- The colour scheme for the house and any outbuildings
- Nominating materials to be used to all elevations of the house and any outbuildings
- Colours of guttering, downpipes and fascia boards
- Colour of renders to be used
- Colour of face brickwork to be used
- Garage door colour and material
- Window frame materials and colour

Once approved a stamped copy of the documents will be returned to you. Following receipt of the stamped plans you must then obtain the approval from the local Council or relevant Building Surveyor and/or any other relevant authorities required by the authority approval process.

Documents are to be emailed as PDF files at a recognised scale at A3 format to the above address. Approved documents will be provided to the applicant as stamp endorsed PDF files.

Approval by the DAP does not warrant or imply that your building complies with the Swan Hill Planning Scheme or the Building Regulations of Victoria.





The siting of your home is an important criteria in delivering an appealing streetscape. All houses, garages & outbuildings must be sited within the Building Envelope applicable to each allotment within Haven.

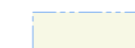


- 1.1 Homes must be designed to maximise winter sun penetration through the appropriate placements and sizing of windows, and minimise summer sun through external shading. The placement of internal and external living areas on the north side of the home is strongly encouraged, while also optimising views and a visual connection to lake and beyond.
- 1.2 Homes must be designed to provide protection of west facing windows from westerly sun in summer months and south/west winds during the winter months.
- 1.3 The maximum height of a dwelling above ground level is 9m or two storeys, measured to the roof ridge directly above the natural ground level at that location.
- 1.4 Allowable encroachments beyond the Building Envelope include eaves (not greater than 600mm), building services units (not higher than 1.2m above ground level), and chimneys (by no greater than 600mm).

DIAGRAM

- Building Envelopes



LEGEND

-  Maximum Building Envelope (Home & Garage Only)
-  Maximum Building Envelope (Out-building only)
-  Maximum Length of Solid 1.8m high boundary fence

NOTES

1. This plan is indicative only and not intended as a Plan of Subdivision

DIAGRAM

- Siting & Setbacks



To ensure the consistency of the Haven, built form character, the following sets out various building elements which require consideration and compliance:

- 2.1 All homes are to be of contemporary design. Period styles, such as Edwardian, Federation and Georgian, are not permitted.
- 2.2 Period detailing, such as quoins, corbelling, fretwork, lacework are not permitted. There is however, scope for the use of contemporary features, subject to the satisfaction of the DAP. The maximum height of a dwelling above ground level is 9m or two storeys, measured to the roof ridge.
- 2.3 Single storey homes are to have a minimum enclosed floor area of no less than 170sqm, and double storey homes a minimum internal floor area of no less than 210sqm (both exclusive of garages).
- 2.4 Use of a combination of wall materials and colours is required to achieve visual interest and articulation. Large expanses and uninterrupted use of conventional brickwork and blockwork is not permitted.
- 2.5 Garages with a side wall that addresses the street frontage must feature windows in the side wall to match the home.
- 2.6 The upper level of two storey homes must feature setbacks and articulation (recession and projection of planes) from the ground floor wall lines.
- 2.7 Homes with exposed stumps or support posts (excluding veranda, balcony and pergola posts) are not permitted.
- 2.8 External TV antennae, meter boxes, satellite dishes, other aerials, hot water storage tanks, cloths lines, evaporate coolers and other air conditioning units must be positioned to minimise their visibility from the street.
- 2.9 Solar water heaters, solar swimming pool heaters and photovoltaic panels are encouraged; however, consideration should be given to positioning them to minimise their visual impact from the street frontage.
- 2.10 No relocatable, transportable or kit homes are permitted.
- 2.11 External plumbing (excluding downpipes and gutters) must not be visible.
- 2.12 Home designs must not be identical or indistinguishable within five house lots, along both sides of the street.

DIAGRAM
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Archicetural Character



Setbacks & articulation from the
ground floor wall lines



Roofs on homes at Haven are an important element in creating the character of the area. The following sets out what roof elements are permitted:

- 3.1 Your home must have a roof pitch of no more than least 22°.
- 3.2 Simple, low profile, contemporary roof forms are encouraged. Consideration to be given to incorporating extended roof eaves and projections for additional weather protection and shading. Articulated roof forms with elements such as decorative Dutch gables and dormer windows, are not permitted.
- 3.3 Flat pitched, skillion and curved roofs are acceptable subject to the review of the DAP and must enhance the architectural style of the building.
- 3.4 Roofs must have a minimum eave width of 450mm to all sides (unless contained by a parapet wall).



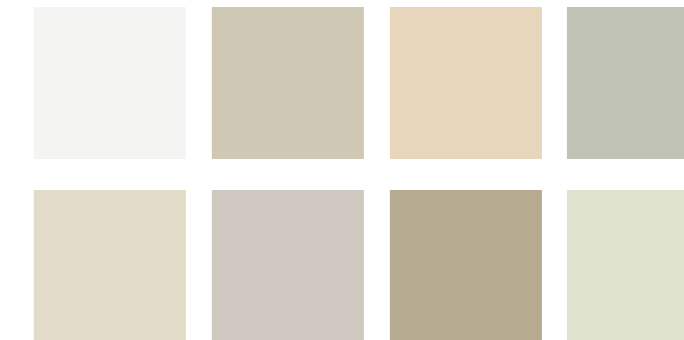
DIAGRAM
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Roof Design

External materials for the dwelling, outbuilding, driveway and hard landscaping surfaces are to adopt a colour palette of muted neutral earthy tones and selected to enhance the natural environment.

An external colour schedule is to be submitted for approval and must include all colours and materials used on the outside of the dwelling and any out buildings, nominated by manufacturer, range and colour. The following sets out the requirements for colours to key elements of your home:

- 4.1 Any proposed facade colours must be of muted, neutral or earthy tones and generally consistent with the nominated colour palettes.
- 4.2 Proposed colour schemes are to include light and dark contrast colours to enhance the visual articulation and interest of the home.
- 4.3 Bright, feature or fluorescent colours are not permitted.
- 4.4 Rain water tanks, gutters and down pipes must complement the house colour and style.

LIGHT COLOUR PALETTE



DARK COLOUR PALETTE

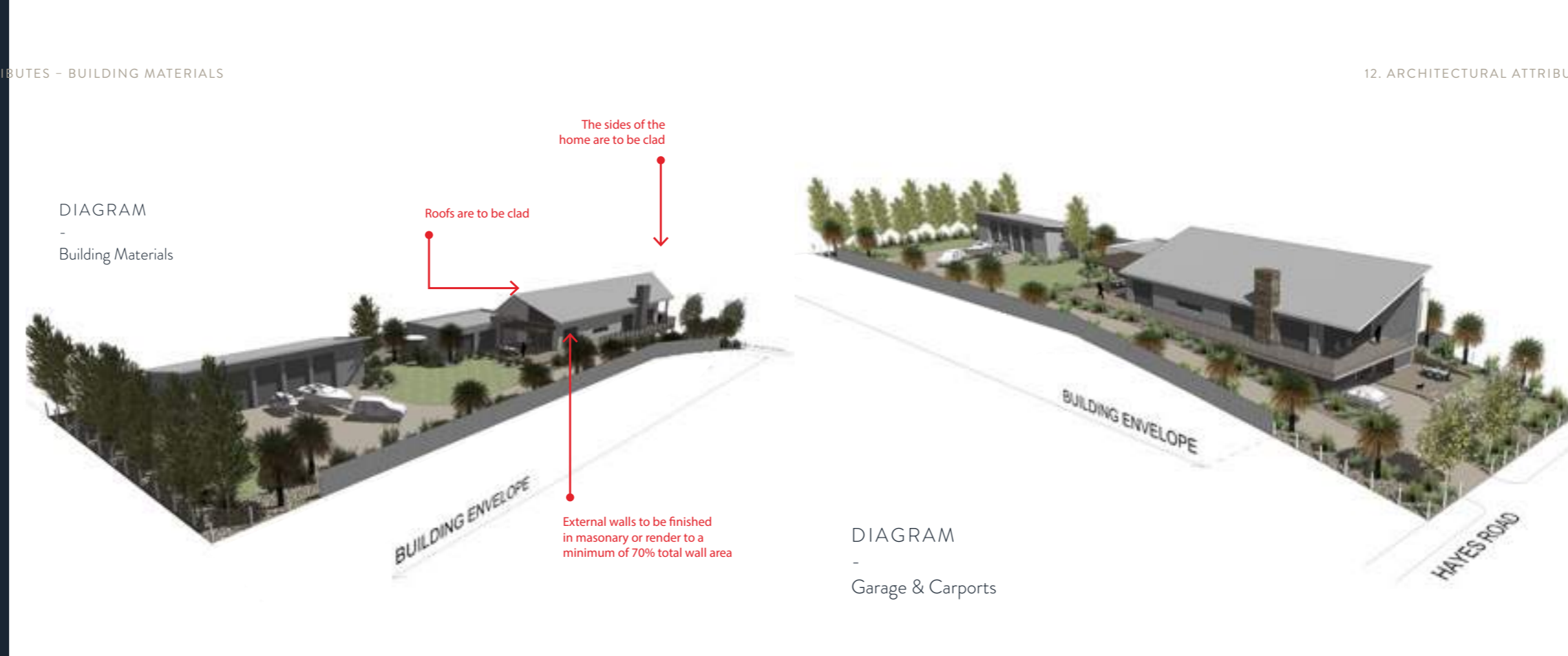


ROOF COLOUR PALETTE



When selecting materials for the home, you must comply with the following:

- 5.1 The external walls of a home are to be finished in masonry or render to a minimum of 70% of the total wall area, including face brickwork, blockwork, or cement render.
- 5.2 The sides of the home facing the street must include two external wall finishes (not including windows, doors, garage door, fascias, barge boards etc.).
- 5.3 External windows and doors must not contain leadlight or stained glass features or reflective glass.
- 5.4 External surfaces of the home must not be constructed of second-hand building materials. Recycled brick is encouraged by the Haven DAP provided that the pallet is complemented by contemporary forms
- 5.5 Where the dwelling incorporates a masonry façade, the walls above windows and doors must be finished in the same or complimentary wall finish. In consistent lightweight infill panels will not be approved.
- 5.6 Roofs are to be clad in corrugated Colorbond steel only; roof tiles are not permitted.



All dwellings must have a garage in accordance with the following:

- 6.1 Must incorporate a double car garage, which is either constructed under the main roof of the home or freestanding.
- 6.2 Garages which are free standing and not under the main roof of the home, must compliment the home design in relation materials and colours.
- 6.3 Garages which are free standing or forward of the home towards the street frontage. Triple garages with doors facing the street frontage are not permitted.
- 6.4 All garage doors must be a sectional overhead door, panel lift door, or a tilt-a-door that is complementary to the external colour scheme of the house.
- 6.5 Carports are not permitted.

Outbuildings, other than a garage noted above, are considered appropriate for the storing of caravans, boats and trailers etc. However, to minimise their impact on the presentation of the home and/or the streetscape, the following controls apply:

- 7.1 Must be constructed in a style and colour to compliment the home, which may include Colorbond sheeting.
- 7.2 Must be constructed within the Outbuilding zone nominated by the Building Envelope and behind the home.
- 7.3 Must not have a gross floor area greater than 200sqm.
- 7.4 Must not exceed 9m in depth.
- 7.5 Water tanks must be located in the Building Envelope, must not be higher than 3m, and be of a material/colour which compliments the design of the home.
- 7.6 Except with the prior written consent of the DAP, vacant or partially developed allotments must not be used for the storage of the following items before the construction of your home commences: caravans, boats, containers, trucks and livestock



DIAGRAM
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Outbuildings

All driveways must be in accordance with the following:

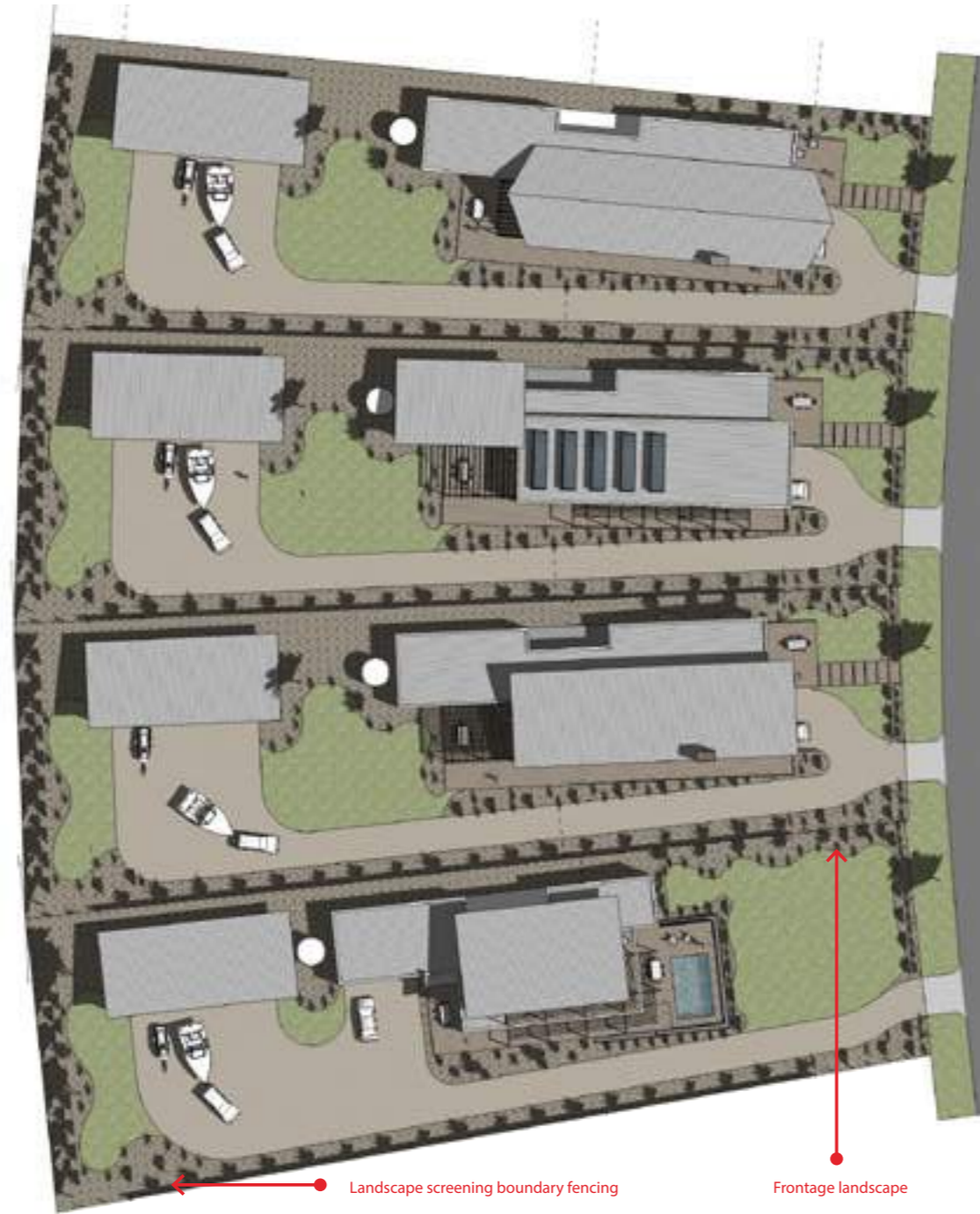
- 8.1 The driveway must be constructed of durable all weather material such as brick, concrete pavers, asphalt, stamped/patterned concrete, exposed aggregate concrete or crushed rock with concrete, timber or brick edging.
- 8.2 The driveway is to be located no closer than 1.5m from the side boundary, to allow for tree planting.
- 8.3 Only one driveway is permitted per allotment.
- 8.4 Driveways must be constructed within 60 days of the issue of the Occupancy Permit.



DIAGRAM
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Driveways

Landscaping within the frontage of a home will make a significant contribution to the character of Haven.

- 9.1 No visible areas of exposed soil are permitted.
- 9.2 Landscaping within the frontage shall consist of formed/edged garden beds of pebbles or mulch in combination with areas of lawn.
- 9.3 A minimum of two advanced trees (1.5m minimum height upon planting and 3m minimum mature height) are to be planted within the roadside frontage.
- 9.4 Landscaping is to be used to assist with the screening of water tanks, solid boundary fencing, out buildings, building services and cloths lines.
- 9.5 A concept sketch of the proposed landscaping within the frontage, must be submitted for assessment and approval along with the design of the the home.
- 9.6 Landscaping is to be completed with 6 months of the issue of the Occupancy Permit. The months of December, January and February will not be included in the noted 6 month period.



A unified and consistent design for boundary fencing enhances the presentation of the streetscapes.

- 10.1 Solid full height boundary fencing is only permitted as indicated on the Building Envelope Plan.
- 10.2 Solid fencing must be no higher than 1.8m measured from the natural ground level, and be constructed of colorbond steel, include capping and posts, all in Woodland Grey colour.
- 10.3 Boundary fencing beyond that permitted for solid fencing can be post and wire construction or colorbond steel, including capping and posts, all in Woodland Grey colour, and be no higher than 1.2m.
- 10.4 Boundary fencing along the road frontage must be no higher than 1.2m and have a minimum visual transparency of 80%.
- 10.5 Fencing must be constructed within 30 days of the issue of the Occupancy Permit.



Any signage used in the Haven estate must comply with the following:

- 11.1 The owner must not erect or remain to be erected or displayed any sign, hoarding or advertising of any description on their allotment unless the construction of the home has been completed and occupancy permit issued.
- 11.2 Only 2 x 'for sale' signs will be permitted on an allotment, subject to the above.
- 11.3 Signs which advertise products or businesses (except for 'for sale' signs) are not permitted on any allotment, with the exception of builders signs smaller than 0.6sqm in area, during construction only.

Lot Maintenance must be upheld during the development process:

- 12.1 The owner must not allow any rubbish including site excavations, building materials, lawn clippings and garden waste to accumulate on an allotment, or allow excessive growth of grass or weeds upon the allotment.
- 12.2 The owner shall not place any rubbish, including site excavations and building material on adjoining allotments.

Retaining Walls must comply with the following:

- 13.1 Retaining walls are not to be higher than 1m. Should a higher retaining wall be proposed it must be stepped 0.6m horizontally every 1m of height.
- 13.2 Stepped retaining walls must not exceed 3m in overall height.





19. LOCATION & MAP

There's no better place to create a lifestyle you love, than Haven.

Developed on the southeastern shores of beautiful Lake Boga, Haven is a fully serviced estate set across 17 hectares. With hillside and premium absolute lakefront sites available, both provide stunning views of the surrounding area.

The extensively landscaped design of the roadside and foreshore aims to enhance resident's lifestyles with retaining walls, trees and plantings. Protective building covenants will ensure your asset is protected.

They say the grass is always greener, and at Haven, it is, thanks to a dual water supply that will maintain lush gardens and lawns year round.

With allotments starting at 1800m², you can enjoy a semirural lifestyle that allows room to house your watercraft of choice, or whatever else your heart desires. Along with your dream home, of course.

LANDSCAPE PLAN

-  EXISTING TREES
-  PROPOSED TREES
-  EXISTING VEGETATION
-  NATURE STRIPS
-  GARDEN BEDS
-  GRASS
-  SAND
-  WATER
-  LOTS
-  EXISTING BUILDINGS
-  ROAD
-  DRAINAGE SWALE

20. LANDSCAPE MASTER PLAN

